

Port Douglas Waterfront
Report on Waterfront Users Survey
June, 2006

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1.0 Background

Douglas Shire Council ('Council') is in the process of developing a draft Strategic Plan to guide the future of the waterfront at Port Douglas. In May 2006, Council undertook a short survey to help identify some of the aspirations local residents and visitors hold for the future of the Port Douglas Waterfront. This report presents the findings of that survey.

Surveys were distributed to all residents via Council's ratepayers database, were available as an insert in a local newspaper and were handed out at a community barbecue hosted by the Port Douglas Waterfront Protection Society. In addition, the survey was available for download from Council's website.

In total, 827 survey responses were received. The original date for survey responses to be received was 12 May, 2006 but this was extended in order to ensure that all those wishing to record their views were given the opportunity to do so.

Citisolutions analysed all survey forms and Elton Consulting provided some assistance in preparing this report for public release.

The results of the survey will be used by Council to inform the development of a draft Strategic Plan and have been provided to the Coordinator General's department as the Due Diligence Report is being prepared.

2.0 Overview of results

Please note: While there were a total of 827 survey responses received, not every survey had every question answered. Similarly, the majority of questions were able to be answered with multiple answers. Tallying of survey results are therefore may not appear consistent as respondents vary from question to question, and may not equal 100 when calculated in percentage terms as more than one answer may have been given.

There were a number of differing, and sometimes conflicting, views about the values and aspirations held for the Waterfront area. These included:

- Overwhelmingly, people think that public access to the waterfront is important
- There is not agreement about whether this access should be to part or all of the waterfront
- Survey responses indicate that there are a range of views relating to the qualities of the area, however mostly these are positive: "natural", "unique", "informal" and "attractive" all topping the list and
- The lack of a safe swimming environment and the lack of connection between different venues along the waterfront both rated highly as detracting from a 'sense of place'
- While there was overwhelming support for a safe swimming environment, responses were evenly divided over where the new facility should be, with 50% nominating 4 Mile Beach and 48% identifying the waterfront as the best location.



The raw data from the survey responses is attached at Appendix A, and is summarized in the Section 3.

3.0 Survey Details:

3.1 Purpose:

The purpose of the survey was to identify land use components and aspirations for Port Douglas Waterfront to help inform the development of a draft Strategic Plan for Port Douglas Waterfront.

3.2 Method of Distribution

14,873 surveys were distributed directly in the following allocations:

- i. Distribution to Port Douglas rates database (approx. 7,873);
- ii. Insertion of the survey into Gazette newspaper (5,400);
- iii. Distribution (by hand) at BBQ held on 6th May by representatives of the Port Douglas Waterfront Protection Society (1,600).

In addition, surveys were available for download from Council's website.

A copy of the survey is attached at Appendix B.

4.0 Synopsis of Survey Responses:

The survey was divided into four (4) sections in order to allow analysis of specific areas. The sections were:

Part A: Public access to the waterfront (questions 1 to 7)

Part B: How you see the waterfront (questions 8 to 10)

Part C: Your aspirations (questions 11 to 15)

Part D: Paying for progress (questions 16 to 19).

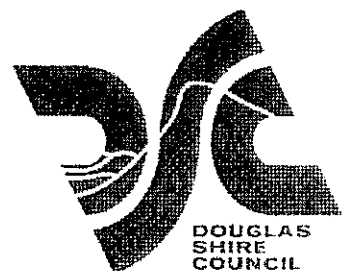
A snapshot of results for each question in each part follows. Details of actual survey results are attached at Appendix A.

4.1 Part A: Public access to the waterfront

Q 1: What is your relationship to Port Douglas?:

- The bulk of respondents to the survey were Port Douglas residents and Port Douglas property owners (who don't reside in Port Douglas), closely followed by Shire residents. Of the 802 responses to this question, 594 lived either in Port Douglas or within the Shire and a further 121 were non-resident property owners. Of the 48 visitors to the area who completed a survey, 8 were from overseas with the remainder from Australia.

Q 2: Do you believe the provision of public access to the waterfront is important?



- 96% of respondents to the survey believe provision of public access to the waterfront is important.

Q3: Do you believe public accessibility to the entire length of the waterfront is necessary?

- 59% of respondents believed public accessibility is required to the entire length of the waterfront.
- 41% identified access to the entire length of the waterfront is **not** necessary.

Q 4: Do you believe boats should have accessibility to the entire length of the waterfront?

- 63% of respondents believed that boats should not have accessibility to the entire length of the waterfront.
- 37% of respondents believed that boats should have accessibility to the entire length of the waterfront.

Q 5: Would you support the implementation of a public walkway system from 4 Mile Beach, wrapping around the headland to Rex Smeal Park?

- The bulk of respondents (88%) to the question in regard to support for implementation of a public walkway system from 4 Mile beach around to Rex Smeal Park, believe that the walkway should be implemented.

Q 6: Would you support the implementation of a public walkway from 4 Mile Beach to the top of Flagstaff Hill?

- 91% of respondents would like to see a public walkway from 4 Mile Beach to the top of Flagstaff Hill implemented.

Q 7: Would you support the implementation of a dedicated bicycleway and pedestrian footpath around and through Port Douglas?

- 91% also support a dedicated bicycleway and pedestrian footpath around and through Port Douglas.

4.2 Part B: How you see the waterfront

Q 8: Please circle the word(s) below that best describe the 'sense of place' in Port Douglas waterfront

- The word most used to describe Port Douglas waterfront was 'natural'.
- Other words used to describe Port Douglas waterfront were 'unique', 'informal', 'historic' and 'attractive'.
- Words chosen by respondents and referred to as 'Other' in the survey to describe Port Douglas waterfront included 'rundown', 'beautiful', 'peaceful', 'neglected', 'tropical' and 'romantic'.

Q 9: Please circle the item(s) below that best describe how you see Port Douglas waterfront

- The major theme emerging of respondents current assessment of the waterfront is that it is 'family friendly'.
- Respondents also described the waterfront as a 'tourist attraction', a 'place to wine and dine', a 'working harbour'.
- Less than 150 respondents (approximately 20%) of the 800 respondents to this question viewed the waterfront as a 'place for learning about the far north of QLD' and 'entertaining'.

Q 10: What are the elements that detract from the 'sense of place' of Port Douglas waterfront:



- Approximately 60% of respondents to this question noted a 'lack of connection between different venues along the waterfront' as a major element detracting from the 'sense of place' of the waterfront.
- Similarly, approximately half of respondents (394) believed that a 'lack of safe swimming environment' detracted from the waterfront.
- 'Lack of access' and 'lack of recreation activities' were also noted as detracting from the waterfront.
- In contrast only 10% of the respondents identified a lack of 'public boating access' and 'affordable boat repair facilities' as an issue for the waterfront.

4.3 Part C: Your aspirations

Q 11: Please circle the item(s) that you would like to see be part of the Port Douglas strategic plan

- 645 of the 806 respondents (approximately 80%) to question 11 wanted to see a 'stinger-free swimming pool' implemented.
- 544 respondents (approximately 67%) wanted to see 'landscape upgrades'.
- More than 20% of respondents to question 11 would like to see the following included as part of the strategic plan:
 1. 'get wet children's play area';
 2. 'waterfront dining/entertainment';
 3. 'arts & cultural centre';
 4. 'food sales precinct at the Sunday markets';
 5. 'night food market';
 6. 'a dedicated marine industry precinct'; and
 7. 'marine research facilities'.
- In contrast less than 20% of respondents to question 11 wanted to see a connection (walkway) from the football fields to the waterfront, shopping or a small vessel lift implemented in the strategic plan.
- Of the 23 respondents who chose 'other', items that were chosen by respondents for inclusion into the Strategic Plan included 'adequate parking for cars and boats' and 'native vegetation'.
- Of the 645 respondents who wanted a swimming pool implemented within the study area, 563 nominated a location for the pool. 282 respondents (approximately 50%) preferred to see the swimming pool located at 4 Mile Beach. 272 respondents (approximately 48%) identified the waterfront as the best location.
- Continuous access was another issue which had wide support, although differing views about the areas requiring that access. 435 respondents had a preference for continuous access to the waterfront from Rex Smeal Park to Marina Mirage; while 289 believed that access from Marina Mirage to the Yacht Club was important and a further 232 supporting further access onto Port Street

Q 12: Which of the following uses would be suitable for the historic Sugar Wharf?:

- Respondents noted that any re-use for the Sugar Wharf should be as multi-functional as possible. For this reason the bulk of respondents noted more than one use for the Sugar Wharf.



- 509 respondents wanted to see the Sugar Wharf used as a 'historical/museum precinct'. 398 respondents wanted to see the Sugar Wharf used as a 'marine environment interpretive centre'.
- 208 respondents wanted to see the Sugar Wharf used as an 'arts & cultural centre'.
- 116 respondents to question 12 nominated an alternative use for the Sugar Wharf described as 'other' in the survey. Notably, the bulk of these alternative uses were not identified as the only use for the Sugar Wharf, but rather uses that would form part of a more multi functional re-use. The following were identified as potential uses for the Sugar Wharf:

1. 'Dining (including open air/alfresco)'; and
2. 'Community use (general)'.

Q 13: Currently, all of Douglas Shire Council's operations are located in Mossman. Do you believe that Council should implement a shopfront/ presence at Port Douglas?:

- 483 of respondents (approximately 62%) wanted to see a shop front/presence for DSC implemented at Port Douglas.

Q 14: Aside from heritage items located within the study area (eg St Marys, Sugar Wharf, Courthouse Museum, railway tracks) and existing parkland, please circle the land use items that are intrinsic to the character of the Port Douglas waterfront, and that should be retained within the study area:

- 711 respondents (approximately 88%) identified the markets as the most intrinsic item to be retained within the study area.
- More than 50% of respondents noted the Yacht Club, Combined Services Club, cafes/restaurants, working harbour uses, State agencies and Marina Mirage as intrinsic to the waterfront.
- The slipway and car trailer park were identified by just under 50% of respondents to question 14 as important for retention within the study area.
- Of the 21 respondents who identified 'other' items as requiring retention, the Bally Hooley Railway was considered intrinsic to the character of the waterfront and in need of retention, and if possible, extension.

Q 15: If you could set the vision for what the Port Douglas waterfront should be in the future, what would that vision be?

- 615 of the 827 responses received to the survey participated in providing their thoughts on the vision for the waterfront. This is equivalent to approximately 75% of total responses to the survey.
- Of the 615 responses to the survey, 232 respondents noted that 'accessibility to the waterfront' was included in their vision for the waterfront.
- More than 100 respondents wanted:
 1. more facilities such as BBQ areas, seating and play areas for children:
 2. more 'family orientation with things for children to do':
 3. 'relocation of the boat trailer/car park'; and
 4. more 'entertainment (restaurants, cafes & bars).
- The need to leave the waterfront as natural as possible was identified. This statement was particularly made with regard to avoiding loosing the unique natural environment located along the waterfront.



- 82 respondents identified the need to provide 'equitable access' to the waterfront. This comment was made particularly in regard to:

1. **Affordability**

It was important to respondents that people 'from all walks of life' could enjoy the waterfront and that a number of price points were available from no cost options such as picnics & BBQ's, to high-end dining. Respondents wanted to avoid too many expensive restaurants/bars but also did not want to see fast food or chain restaurant style outlets (e.g. McDonalds & KFC) along the waterfront.

2. **Access**

Equity in regard to access was also identified by respondents. This access included ability for the elderly, children and disabled to access and safely use the waterfront area. This was noted as achievable through pedestrian walkway treatments, lighting and signage.

- 64 respondents identified that any development within the study area should be 'low scale'. For the majority of responses a height of two storeys was considered most reasonable and in keeping with the Port Douglas character.
- 64 respondents identified the need to 'improve and/or upgrade the landscape' within the waterfront study area. A number of issues were identified in regard to potential landscape improvement/upgrades:
 1. A distinct lack of shade trees, particularly south of Rex Smeal Park were identified.
 2. Much of the landscape did not reflect the tropical location and it was identified that more 'lush' tropical vegetation should be implemented.

4.4 **Part D: Paying for progress**

Q 16: How should Council pay for any redevelopment/upgrade of the waterfront?

- 359 respondents identified that a combination of sale of development rights and State/Federal grants should be used to fund the redevelopment/upgrade of the waterfront.

Q 17: Should any upgrade/redevelopments of the Waterfront Precinct include upgrades to Port Douglas CBD and surrounding environs if possible?

- Responses were evenly split as to whether upgrades to Port Douglas CBD and surrounds should be included in any redevelopment of the waterfront. 375 respondents agreed that upgrades to Port Douglas CBD and surrounds should be included, while 376 of respondents did not agree.

Q 18: Do you believe Council should require any potential sale of development rights within the precinct to provide an income stream to Council for maintenance (eg lifeguard and pool maintenance?)

- 462 respondents to question 18 (approximately 56%) identified that Council should require the provision of an income stream from sale of development rights for provision of ongoing maintenance.

Q 19: If development was proposed within the Port Douglas waterfront study area, where is the most acceptable location for it?



- Areas where more than 150 respondents considered most appropriate for the location of any potential development were:
 1. the area located between Mirage and the Yacht Club;
 2. area located between the Yacht Club and the football fields;
 3. the slipway and boatbuilding areas;
 4. Marina Mirage; and
 5. area located at the corner of Mowbray Street & Wharf Street.
- Under 'Other locations' for any potential development, 73 of the 827 survey respondents noted a preference for 'no development'. There were no 'stand out' areas noted as the most appropriate place for development to occur.

Appendix A: Survey Data



5.0 Survey Results:

The raw data from each question is presented below. It is important to note that the majority of questions outlined in the survey allowed for multiple answers to be recorded. As a result, any percentage data presented in the tables detailed below will not total to 100%.

5.1 Part A: Public access to the waterfront:

(Q1) What is your relationship with Port Douglas?

- 802 responses of 827 surveys received.

Question Number	Question Description	Total Number of Responses to Q1
Q1.(d)	Port Douglas property owner (but not resident in Port Douglas)	296
Q1.(a)	Port Douglas resident	258
Q1.(b)	Shire resident	215
Q1.(c)	Business owner	121
Q1.(e)	Visitor from within Australia	40
Q1.(f)	Visitor from overseas	8

- The bulk of respondents have been Port Douglas and/or Shire Residents and Port Douglas property owners (who don't reside in Port Douglas), closely followed by Shire residents.

(Q2) Do you believe the provision of public access to the waterfront is important?

- 808 responses of 827 surveys received.
- 796 of respondents to the survey (approximately 96%) believe provision of public access to the waterfront is important.

(Q3) Do you believe public accessibility to the entire length of the waterfront is necessary?

- 794 responses of 827 surveys received.
- 59% of respondents believed public accessibility is required to the entire length of the waterfront. 41% access to the entire length of the waterfront is not necessary.

(Q4) Do you believe boats should have accessibility to the entire length of the waterfront?

- 791 responses of 827 surveys received.



- 63% of respondents believed that boats should not have accessibility to the entire length of the waterfront. 37% of respondents believed that boats should have accessibility to the entire length of the waterfront.

(Q5) Would you support the implementation of a public walkway system from 4 Mile beach, wrapping around the headland to Rex Smeal Park?

- 798 responses of 827 surveys received.
- The bulk of responses to question 5 (88%) support a public walkway system from 4 Mile Beach to Rex Smeal Park around the headland.

(Q6) Would you support the implementation of a public walkway system from 4 Mile beach to the top of Flagstaff Hill?

- 792 responses of 827 surveys received.
- 91% of respondents support a public walkway from 4 Mile Beach to the top of Flagstaff Hill.

(Q7) Would you support the implementation of a dedicated bicycleway and pedestrian footpath around and through Port Douglas?

- 796 responses of 827 surveys received.
- The bulk of responses (91%) support a dedicated bicycleway and pedestrian footpath around and through Port Douglas.

5.2 Part B: How you see the waterfront:

(Q8) Please circle the word(s) that best describe the 'sense of place' in Port Douglas waterfront?

- 810 responses of 827 surveys received.
- The word most used to describe Port Douglas waterfront is 'natural'.
- Other words used to describe Port Douglas waterfront were 'unique', 'informal', 'historic' and 'attractive'.

Question Number	Question Description	Total Number of Responses to Q8
Q8.(m)	natural	365
Q8.(g)	unique	276
Q8.(i)	informal	270
Q8.(l)	attractive	245
Q8.(f)	historic	235



Q8.(b)	accessible	197
Q8.(e)	adhoc	180
Q8.(h)	rustic	123
Q8.(a)	eclectic	106
Q8.(j)	vibrant	77
Q8.(c)	odd	62
Q8.(k)	exciting	52
Q8.(d)	egalitarian	45

Words chosen by respondents and referred to as 'Other' in the survey to describe Port Douglas waterfront included:

Question Number	Question Description	Total Number of Responses to Q8
Q8.(n)(1)	Rundown	6
Q8.(n)(2)	Beautiful	5
Q8.(n)(3)	Peaceful	5
Q8.(n)(4)	Neglected	4
Q8.(n)(5)	Tropical	3
Q8.(n)(6)	Romantic	3
Q8.(n)(7)	Disconnected	2
Q8.(n)(8)	Gateway	2
Q8.(n)(9)	Multi-cultural Influence (Balinese, American, St Tropez, Cannes)	1
Q8.(n)(10)	Kitsch	1
Q8.(n)(11)	Aussie	1
Q8.(n)(12)	Eyesore	1
Q8.(n)(13)	Unfinished	1
Q8.(n)(14)	Working Harbour	1
Q8.(n)(15)	Fantastic	1
Q8.(n)(16)	Welcoming	1
Q8.(n)(17)	Artistic	1
Q8.(n)(18)	Derelict	1
Q8.(n)(19)	Reflective	1
Q8.(n)(20)	Relaxing	1
Q8.(n)(21)	Tranquil	1

(Q9) Please circle the item(s) that best describe how you see the Port Douglas waterfront?

- 800 responses of 827 surveys received.
- The major theme emerging of respondents current assessment of the waterfront is that it is 'family friendly'.
- Respondents also described the waterfront as a 'tourist attraction', a 'place to wine and dine', a 'working harbour'.
- Less than 150 respondents (approximately 20%) of the 800 respondents to question 9 viewed the waterfront as a 'place for learning about the far north of QLD' and 'entertaining'.

Question Number	Question Description	Total Number of Responses to Q9
Q9.(a)	family friendly	531
Q9.(d)	tourist attraction	390
Q9.(i)	place to wine & dine	364
Q9.(e)	working harbour	350
Q9.(l)	place for children to play	285
Q9.(h)	place to exercise/recreate	265
Q9.(j)	place to visit at night	199
Q9.(g)	gathering space	193
Q9.(b)	a destination	181
Q9.(k)	place for art & culture	181
Q9.(f)	place for learning about the far north of QLD	136
Q9.(c)	entertaining	134

(Q10) What are the elements that detract from the 'sense of place' of Port Douglas waterfront?

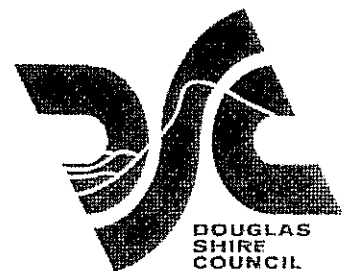
- 784 responses of 827 surveys received.
- Approximately 60% of respondents to question 10 noted a 'lack of connection between different venues along the waterfront' as a major element detracting from the 'sense of place' of the waterfront.
- Similarly, approximately half of respondents believed that a 'lack of safe swimming environment' detracted from the waterfront.
- 'Lack of access' and 'lack of recreation activities' were also noted as detracting from the waterfront.
- In contrast the least amount of the respondents to question 10 (approximately 10%) identified a lack of 'public boating access' and 'affordable boat repair facilities' as an issue for the waterfront.



Question Number	Question Description	Total Number of Responses Q10
Q10.(f)	Lack of connection between different venues along the waterfront	474
Q10.(e)	lack of safe swimming environment	394
Q10.(a)	lack of access	351
Q10.(g)	lack of recreation activities	271
Q10.(b)	experience at night	165
Q10.(c)	working harbour uses	94
Q10.(d)	lack of public boating access	92
Q10.(i)	other(s)	77
Q10.(h)	lack of affordable boat repair facilities	67

- 77 respondents chose to describe elements detracting from the 'sense of place' of the Port Douglas waterfront. Issues chosen by respondents and referred to as 'Other' in the survey included:

Question Number	Question Description	Total Number of Responses to Q10
Q10.(i)(1)	Lack of Tourism Attractions	19
Q10.(i)(2)	Lack of Shade Trees/Vegetation	16
Q10.(i)(3)	Existing Development	12
Q10.(i)(4)	Floating Marine Centre located at Marina	6
Q10.(i)(5)	Environmental (including water pollution & rubbish)	5
Q10.(i)(6)	No Linkage to Macrossan Street	5
Q10.(i)(7)	Lack of Facilities (incl. public toilets, children play areas,)	5
Q10.(i)(8)	Lack of reliable deep water channel	3
Q10.(i)(9)	Lack of Sophistication	2
Q10.(i)(10)	Commercial Fishing Boats	2
Q10.(i)(11)	Lack of safe walking areas	1
Q10.(i)(12)	Lack of Culture/Art Experience	1



5.3 Part C: Your aspirations:

(Q11) Please circle the item(s) that you would like to see be part of the Port Douglas strategic plan?

- 806 responses of 827 surveys received.
- 645 of the 806 respondents (approximately 80%) to question 11 wanted to see a 'stinger-free swimming pool' implemented.
- 544 or respondents (approximately 67%) wanted to see 'landscape upgrades'.
- More than 20% of respondents to question 11 would like to see the following included as part of the strategic plan:
 1. 'get wet children's play area';
 2. 'waterfront dining/entertainment';
 3. 'arts & cultural centre';
 4. 'food sales precinct at the Sunday markets';
 5. 'night food market';
 6. 'a dedicated marine industry precinct'; and
 7. 'marine research facilities'.
- In contrast less than 20% of respondents to question 11 wanted to see a connection (walkway) from the football fields to the waterfront, shopping or a small vessel lift implemented in the strategic plan.

Question Number	Question Description	Total Number of Responses to Q11
Q11. (a)	stinger free swimming pool	645
Q11.(f)	landscape upgrades	544
Q11.(l)	'Get Wet' children's play area	306
Q11.(c)	waterfront dining/entertainment	295
G11.(h)	Arts & cultural centre	285
Q11.(n)	Food sales precinct at the Sunday markets	238
Q11.(i)	night food market	198
Q11.(m)	dedicated marine industry precinct	178
Q11.(j)	Marine research facilities	164
Q11.(e)	Connection (walkway) from the football fields to the waterfront	150
Q11.(g)	shopping	98
Q11.(k)	small vessel lift	92
Q11.(o)	other(s)	23



- Of the 23 respondents who chose 'other', the following items were chosen by respondents for inclusion into the Strategic Plan:

Question Number	Question Description	Total Number of Responses to Q11
Q11.(o)(1)	Adequate Parking for Cars and Boats	7
Q11.(o)(2)	Native Vegetation	4
Q11.(o)(3)	Community Facilities (e.g. library, amphitheatre)	2
Q11.(o)(4)	Coastguard	2
Q11.(o)(5)	Kids Entertainment (BMX/Skateboard Area, Bowling Alley)	2
Q11.(o)(6)	Dog 'off leash' area	2
Q11.(o)(7)	Public Art Projects (State & Local Gov & Tourism Industry funded)	1
Q11.(o)(8)	Fishing & Recreation Areas	1
Q11.(o)(9)	Bowling Green	1
Q11.(o)(10)	Accommodation	1

(Q11)(a.) A stinger-free swimming pool?

- 645 of respondents wanted a stinger-free swimming pool implemented.

(Q11)(b.) Location of the swimming pool?

- 563 responses of 827 surveys received.
- Of the 645 respondents who wanted a swimming pool implemented within the study area, 563 nominated a location for the pool. 282 respondents (approximately 50%) preferred to see the swimming pool located at 4 Mile Beach. 272 respondents (approximately 48%) identified the waterfront as the best location.

(Q11)(d.) Continuous access to the waterfront from?

- 593 responses of 827 surveys received.
- 435 respondents to question 11 had a preference for continuous access to the waterfront from Rex Smeal Park to Marina Mirage.
- However continuous accessibility from Marina Mirage to the Yacht Club and then onto Port Street was also considered important with 289 and 232 respondents respectively.

(Q12) Which of the following uses would be suitable for the historic Sugar Wharf?

- 791 responses of 827 surveys received.
- Respondents noted that any re-use for the Sugar Wharf should be as multi-functional as possible. For this reason the bulk of respondents noted more than one use for the Sugar Wharf.
- 509 respondents wanted to see the Sugar Wharf used as a 'historical/museum precinct'. 398 respondents wanted to see the sugar wharf used as a 'marine environment interpretive centre'.
- 208 respondents wanted to see the Sugar Wharf used as an 'arts & cultural centre'.

Question Number	Question Description	Total Number of Responses to Q12
Q12.(b)	Historical / museum precinct	509
Q12.(c)	Marine environment interpretive centre	398
Q12.(a)	Arts & cultural centre	208
Q12.(d)	other(s)	116

- 116 respondents to question 12 nominated an alternative use for the Sugar Wharf described as 'other' in the survey. Notably, the bulk of these alternative uses were not identified as the only use for the Sugar Wharf, but rather uses that would form part of a more multi functional re-use. The following were identified as potential uses for the Sugar Wharf:

Question Number	Question Description	Total Number of Responses to Q12
Q12.(d)(1)	Dining (including open air / alfresco)	41
Q12.(d)(2)	Community Use (general - may include change rooms/facilities for public swimming lagoon/pool)	22
Q12.(d)(3)	Tourist Information / Learning Centre on Wet Tropics & Indigenous Heritage	8
Q12.(d)(4)	Include coffee shop with any use	8
Q12.(d)(5)	Fishing/Angling	8
Q12.(d)(6)	Coastguard	7
Q12.(d)(7)	Night Food Market Location	4
Q12.(d)(8)	Function Venue	3
Q12.(d)(9)	Cinema (village-style)	3
Q12.(d)(10)	Boating	2
Q12.(d)(11)	Waterfront Protection Association Centre	2



Question Number	Question Description	Total Number of Responses to Q12
Q12.(d)(12)	Commercially Viable Tourist Attraction	2
Q12.(d)(13)	Remove	1
Q12.(d)(14)	Local Artist / Gallery Shop	1
Q12.(d)(15)	Revenue Stream for Douglas Shire	1
Q12.(d)(16)	Small Library	1
Q12.(d)(17)	Multi-functional	1
Q12.(d)(18)	Fun Parlour (Games)	1

(Q13) Currently, all of Douglas Shire Councils operations are located in Mossman. Do you believe that Council should implement a shop front/presence at Port Douglas?

- 780 responses of 827 surveys received.
- 483 of respondents (approximately 62%) wanted to see a shop front/presence for DSC implemented at Port Douglas.

(Q14) Aside from heritage items located within the study area (e.g. St Mary's, Sugar Wharf, Courthouse Museum, railway tracks) and existing parkland, please circle the land use items that are intrinsic to the character of the Port Douglas waterfront, and that should be retained within the study area?

- 807 responses of 827 surveys received.
- 711 respondents to question 14 (approximately 88%) identified the markets as the most intrinsic item to be retained within the study area.
- More than 50% of respondents to question 14 noted the Yacht Club, Combined Services Club, cafes/restaurants, working harbour uses, State agencies and Marina Mirage as intrinsic to the waterfront.
- The slipway and car trailer park were identified by just under 50% of respondents to question 14 as important for retention.

Question Number	Question Description	Total Number of Responses to Q14
Q14.(a)	markets	711
Q14.(e)	Yacht Club	581
Q14.(g)	Combined Service Club	534
Q14.(f)	cafes/restaurants	507
Q14.(c)	working harbour uses	480
Q14.(d)	State agencies	452
Q14.(i)	Marina Mirage	446
Q14.(h)	slipway	371
Q14.(b)	car & trailer park	361
Q14.(i)	other(s)	21

- Of the 21 respondents who identified 'other' items as requiring retention, the Bally Hooley Railway was considered intrinsic to the character of the waterfront and in need of retention, and if possible, extension.

Question Number	Question Description	Total Number of Responses to Q14
Q14.(i)(1)	Extended Bally Hooley Railway	11
Q14.(i)(2)	Fish Market	4
Q14.(i)(3)	Water Entrance' to PD should be maintained - walkways not visible	2
Q14.(i)(4)	Remove the 'Coral Trout' Sculpture located at Marina Mirage	2
Q14.(i)(5)	Public Jetty	2

(Q15) If you could set the vision for what the Port Douglas waterfront should be in the future, what would that vision be?

- 615 of the 827 responses received to the survey participated in providing their thoughts on the vision for the waterfront. This is equivalent to approximately 75% of responses to the survey.
- Responses have been grouped and those with 10 responses or greater have been included in the table below.



- Of the 615 qualitative responses to the survey, 232 respondents noted that ‘accessibility to the waterfront’ was included in their vision for the waterfront.
- More than 100 respondents wanted:
 1. more facilities such as BBQ areas, seating and play areas for children:
 2. more ‘family orientation with things for children to do’:
 3. ‘relocation of the boat trailer/car park’; and
 4. more ‘entertainment (restaurants, cafes & bars).
- The need to leave the waterfront as natural as possible was identified. This statement was particularly made with regard to avoiding losing the unique natural environment located along the waterfront.
- 82 respondents identified the need to provide ‘equitable access’ to the waterfront. This comment was made particularly in regard to:
 1. Affordability
It was important to respondents that people ‘from all walks of life’ could enjoy the waterfront and that a number of price points were available from no cost options such as picnics & BBQ’s, to high-end dining. Respondents wanted to avoid too many expensive restaurants/bars but also did not want to see fast food or chain restaurant style outlets (e.g. McDonalds & KFC) along the waterfront.
 2. Access
Equity in regard to access was also identified by respondents. This access included ability for the elderly, children and disabled to access and safely use the waterfront area. This was noted as achievable through pedestrian walkway treatments, lighting and signage.
- 64 respondents identified that any development within the study area should be ‘low scale’. For the majority of responses a height of two storeys was considered most reasonable and in keeping with the Port Douglas character.
- 64 respondents identified the need to ‘improve and/or upgrade the landscape’ within the waterfront study area. A number of issues were identified in regard to potential landscape improvement/upgrades:
 1. A distinct lack of shade trees, particularly south of Rex Smeal Park were identified.
 2. Much of the landscape did not reflect the tropical location and it was identified that more ‘lush’ tropical vegetation should be implemented.

Question Number	Question Description	Total Number of Responses to Q15
Q15.(1)	Accessibility to the waterfront (boardwalks, areas to enjoy the water located on the shoreline, enhance views to the water where possible)	232
Q15.(2)	More Facilities (BBQ Areas, Seating Areas, Public Toilets, Play Areas, Swimming Area)	138
Q15.(3)	More Family Orientated with things for Children to do	117
Q15.(4)	Relocate Boat Trailer / Car park	102
Q15.(5)	More Entertainment (Restaurants, Cafes, Bars)	102
Q15.(6)	Leave as Natural as Possible	93
Q15.(7)	Equitable Access (affordable - a place to go and it doesn't need to cost anything and a mixture of food & beverage that cater for more affordable food/beverage opportunities - a mix of family and more expensive restaurants - no fast food outlets)	82
Q15.(8)	Low Scale Development Only	64
Q15.(9)	Improved / Upgraded Landscape (particularly shade trees)	64
Q15.(10)	Complimentary Built Form (i.e. not artificial & in keeping with more 'rustic' charm of PD)	59
Q15.(11)	Leave Unchanged	52
Q15.(12)	More Entertainment (Events, Festivals, Night Markets, Active Public Art/Interactive)	49
Q15.(13)	Safe Environment (particularly lighting for night use, level walking path)	49
Q15.(14)	Upgrade Existing Built Form Environment (but not extra development)	44
Q15.(15)	Preserve Historic Buildings and Heritage Items	43
Q15.(16)	Relocated Slipway Upstream (further up the Inlet)	40
Q15.(17)	Improved/Additional Public Marina & Boating Facilities including Better Access to those Facilities	32
Q15.(18)	No Residential Development and/or Accommodation	31
Q15.(19)	Relaxed and Casual Village Atmosphere	31
Q(15).(20)	Provide Information (Point out items of interest, interpret history including Indigenous History, Emergency Info on Stingers, let locals/visitors know what's going on in at PD)	29
Q15.(21)	Retail / Shopping	27
Q15.(22)	More Tourist Facilities (to attract tourists to the waterfront)	26

Question Number	Question Description	Total Number of Responses to Q15
Q15.(23)	Interaction with the 'Working Harbour' at Port Douglas (i.e. ability to watch boating/maintenance whilst dining/walking along waterfront)	26
Q15.(24)	Not too much commercial development	24
Q15.(25)	Increased Parkland (including Removal of Existing Police Reserve)	22
Q15.(26)	'Like' Townsville Esplanade / The Strand	22
Q15.(27)	Increased ability for Casual Fishing opportunities (including pontoons)	17
Q15.(28)	Some Commercial Development (to pay for infrastructure)	16
Q15.(o)(29)	Restrict / Hide Asphalt Car parking Areas	15
Q15.(30)	Improved Urban Design (including water features) & Signage	15
Q15.(31)	View Lines to Pumistone Passage	15
Q15.(32)	No Working Harbour Uses (move them past the Yacht Club)	15
Q15.(33)	Like Cairns Waterfront (Lagoon Style Pool only)	14
Q15.(34)	Redevelop Marina Mirage (outdated and doesn't engage the waterfront)	13

5.3 Part D: Paying for progress:

(Q16) How should Council pay for any redevelopment/upgrade of the waterfront?

- 753 responses of 827 surveys received.
- 359 respondents identified that a combination of sale of development rights and State/Federal grants should be used to fund redevelopment/upgrade of the waterfront.

Question Number	Question Description	Total Number of Responses to Q16
Q16.(d)	Combination of b) and c)	359
Q16.(a)	Council debt (ratepayer funded)	251
Q16.(c)	Waiting for State or Federal grants (no certainty)?	162
Q16.(b)	Balancing sale of development rights against public benefit	159



(Q17) Should any upgrade/redevelopment of the waterfront precinct include upgrades to Port Douglas CBD and surrounding environs if possible?

- 751 responses of 827 surveys received.
- Responses were split as to whether upgrades to Port Douglas CBD and surrounds should be included in any redevelopment of the waterfront. 375 respondents agreed that upgrades to Port Douglas CBD and surrounds should be included, while 376 or respondents did not agree.

(Q18) Do you believe Council should require any potential sale of development rights within the precinct to provide an income stream to Council for maintenance (e.g. lifeguard & pool maintenance)?

- 737 responses of 827 surveys received.
- 462 respondents to question 18 (approximately 56%) identified that Council should require the provision of an income stream from sale of development rights for provision of ongoing maintenance.

(Q19) If development was proposed within the Port Douglas waterfront study area, where is the most acceptable location for it?

- 747 responses of 827 surveys received.
- Areas where more than 150 respondents considered most appropriate for the location of any potential development were:
 1. the area located between Mirage and the Yacht Club;
 2. area located between the Yacht Club and the football fields;
 3. the slipway and boatbuilding areas;
 4. Marina Mirage; and
 5. area located at the corner of Mowbray Street & Wharf Street.

Question Number	Question Description	Total Number of Responses to Q19
Q19.(e)	Area located between Marina Mirage and the Yacht Club	205
Q19.(f)	Area located between the Yacht Club and the football fields	204
Q19.(c)	Slipway & boat building areas	171
Q19.(a)	Marina mirage	169
Q19.(d)	Area located at the corner of Mowbray Street & Wharf Street	152
Q19.(g)	other(s)	128
Q19.(b)	The boat trailer car park	100

- Under 'Other locations' for any potential development, 73 of the 827 survey respondents noted a preference for 'no development'. There were no 'stand out' areas noted as the most appropriate place for development to occur.

Question Number	Question Description	Total Number of Responses to Q19
Q19.(g)(1)	No development within Port Douglas Waterfront	73
Q19.(g)(2)	Development within the study area, but no on the waterside/front	12
Q19.(g)(3)	Rex Smeal Park to Market Area	11
Q19.(g)(4)	Sugar Wharf to Yacht Club	5
Q19.(g)(5)	Whole Area except Existing Parkland & Heritage Items	4
Q19.(g)(6)	Old Pier 319 Area	4
Q19.(g)(7)	Rex Smeal Park north from Macrossan Street	4
Q19.(g)(8)	Boat Trailer & Car park Area	3
Q19.(g)(9)	Further up the Inlet - Marina Mirage and Onwards	3
Q19.(g)(10)	Between Marina Mirage and On the Inlet Restaurant	2
Q19.(g)(11)	Grant Street	2
Q19.(g)(12)	Yacht Club to Port Street	2
Q19.(g)(13)	Sugar Wharf to Boat Ramp	1
Q19.(g)(14)	Rex Smeal Park to Yacht Club	1
Q19.(g)(15)	Main Beach area between Mowbray Street and Flagstaff Hill	1